

SO2 AVENUE M COUNTY





HEIGHTS

REQUIREMENTS: AREAS:

NONE

BUSINESS GROUP B GROUP CIVIC ADMINISTRATION (1 OCCUPANT)

EXISTING CONSTRUCTION IS TYPE IIB MAX. ALLOWABLE HEIGHT = 55 FT MAX. NUMBER OF STORIES = 3 MAX. BUILDING AREA = 23,000 SF

TABLE 504.3 TABLE 504.4 TABLE 506.2

CHAPTER 6

1 EXISTING AND REVISED SITE PLANS EDEMOLITION & REVISED FLOOR PLANS EDEMOLITION & REVISED FLOOR PLANS EDEMOLITION & REFLECTED CEILING PLAN & DETAILS EDETAILS AND SCHEDULES EDEMOLITIONS AND ELEVATIONS EDEMOLITIONS EDEMOLITIONS AND ELEVATIONS EDEMOLITIONS

ELECTRICAL/PLUMBING:

E1.0 LIGHTING PLAN AND NOTES
S E2.0 POWER PLAN AND NOTES
E3.0 DETAILS
E4.0 SPECIFICATIONS
P1.0 SEWER AND WATER PLAN
P2.0 SCHEDULES AND DETAILS
P3.0 SPECIFICATIONS

TABLE 601

CHAPTER 5

CHAPTER 4

CV COVER SHEET ARCHITECTURAL:

OCCUPANCY CLASSIFICATION:

CHAPTER 3 PARA 304.1

INDEX

9

DRAWINGS

O HRS.

No.

MBE

RS

O HR.

GROUP B AND NON-SPRINKLERED EXIT PASSAGEWAYS CORRIDORS ROOMS

CLASS CLASS CLASS

CHAPTER 8

TABLE 803.13

S A
S B
S C

OWNER: MEDINA COUNTY 1300 AVENUE M, ROOM 250 HONDO, TEXAS 78861

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JOHN A. NELSON TEL: (210) 385—6438 johnnelson@lonestarsync.

CHAPTER 10
TABLE 1004.1.2
100 GSF/OCCUPANT

OCCUPANT LOAD
BUSINESS AREAS
9,420 / 100 = 95 OCCUPANTS
MIN. EGRESS WIDTH
95 X 0.2"/OCCUPANT = 19"
2 EXITS ARE REQUIRED
EXIT ACCESS TRAVEL DISTANCE = 200'
COORIDOR FIRE RESISTANCE RATING = 1
MINIMUM CORRIDOR WIDTH = 44"

茮.

PARA. 1005.3.2 TABLE 1006.3.1 TABLE 1017.2 R. TABLE 1020.1 TABLE 1020.2

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ROSARIO R. CARRILLO MIKE CARRILLO TEL: (210) 734-6004 mcarrillo@rceeng.com

BUILDING

CODES:

2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL FIRE CODE
2017 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRIC CODE

LEGAL DESCRIPTION:

LOTS 6-10, BLOCK 3 OF THE ORIGINAL TOWN OF HONDO, MEDINA COUNTY, TEXAS.

THIS IS AN EXISTING 9,420 SQ. FT. ONE STORY BUILDING; FORMERLY A BANK. IT IS NOT SPRINKLERED AND IS OF NON-COMBUSTIBLE CONSTRUCTION.

PROJECT

DESCRIPTION:

BUILDING

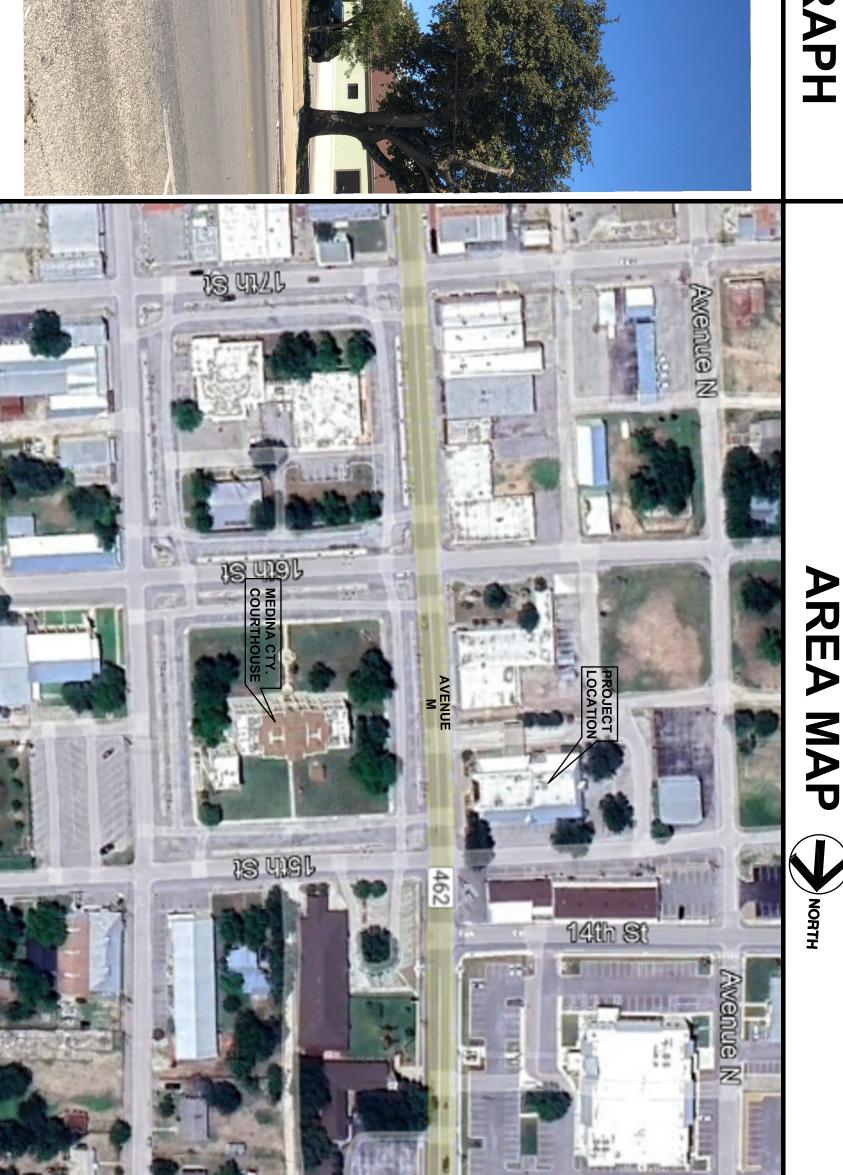
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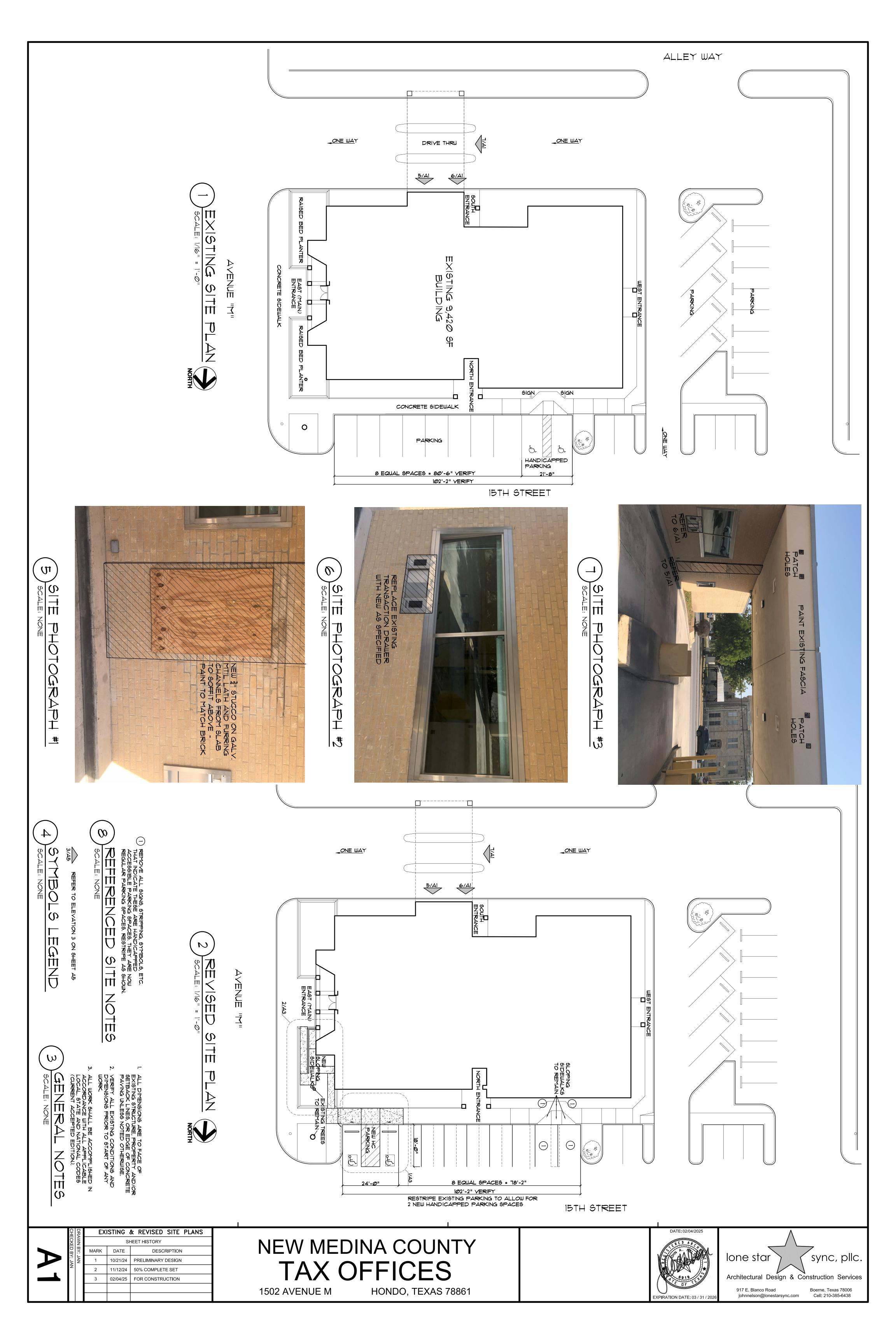
VIEW

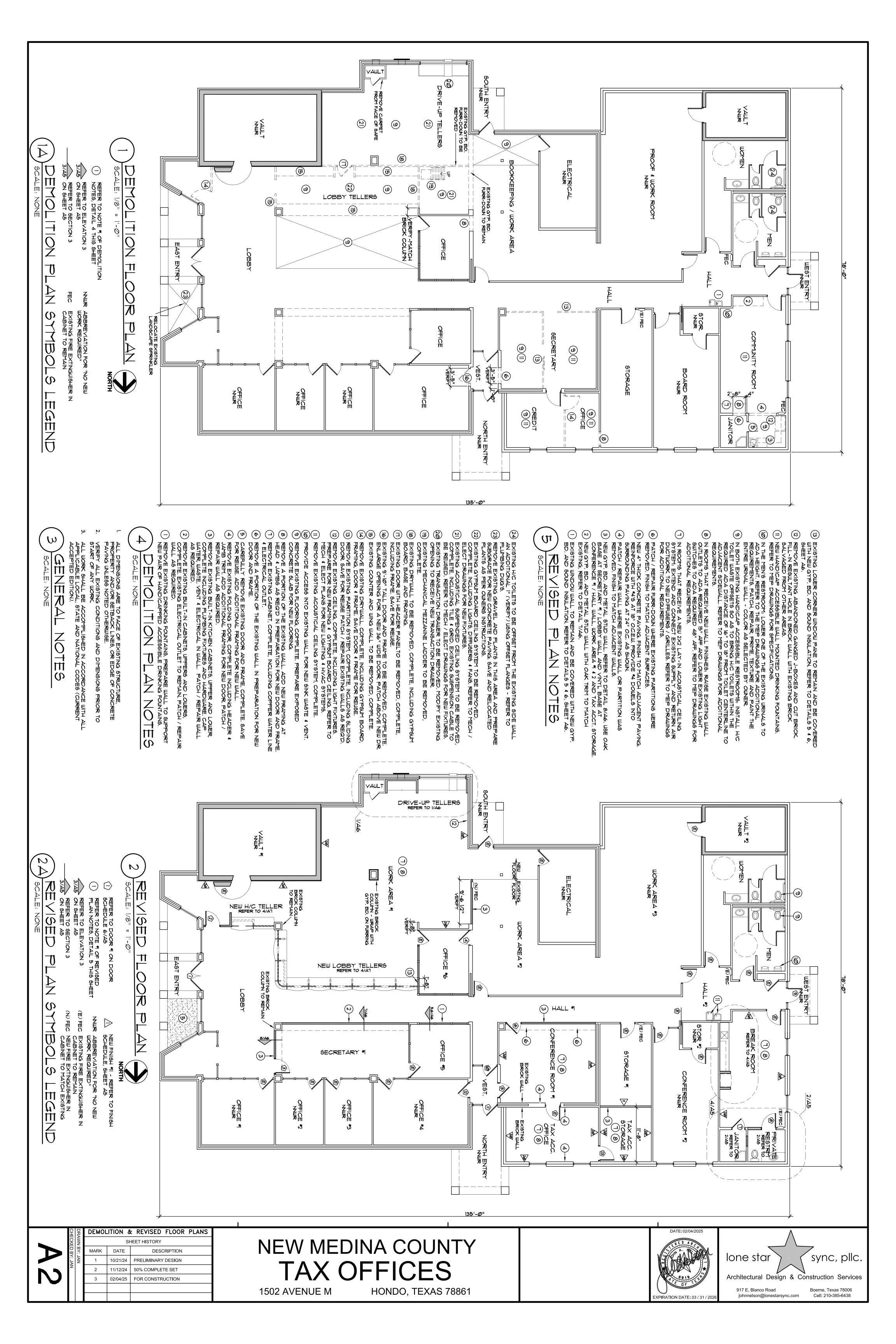
PROJECT

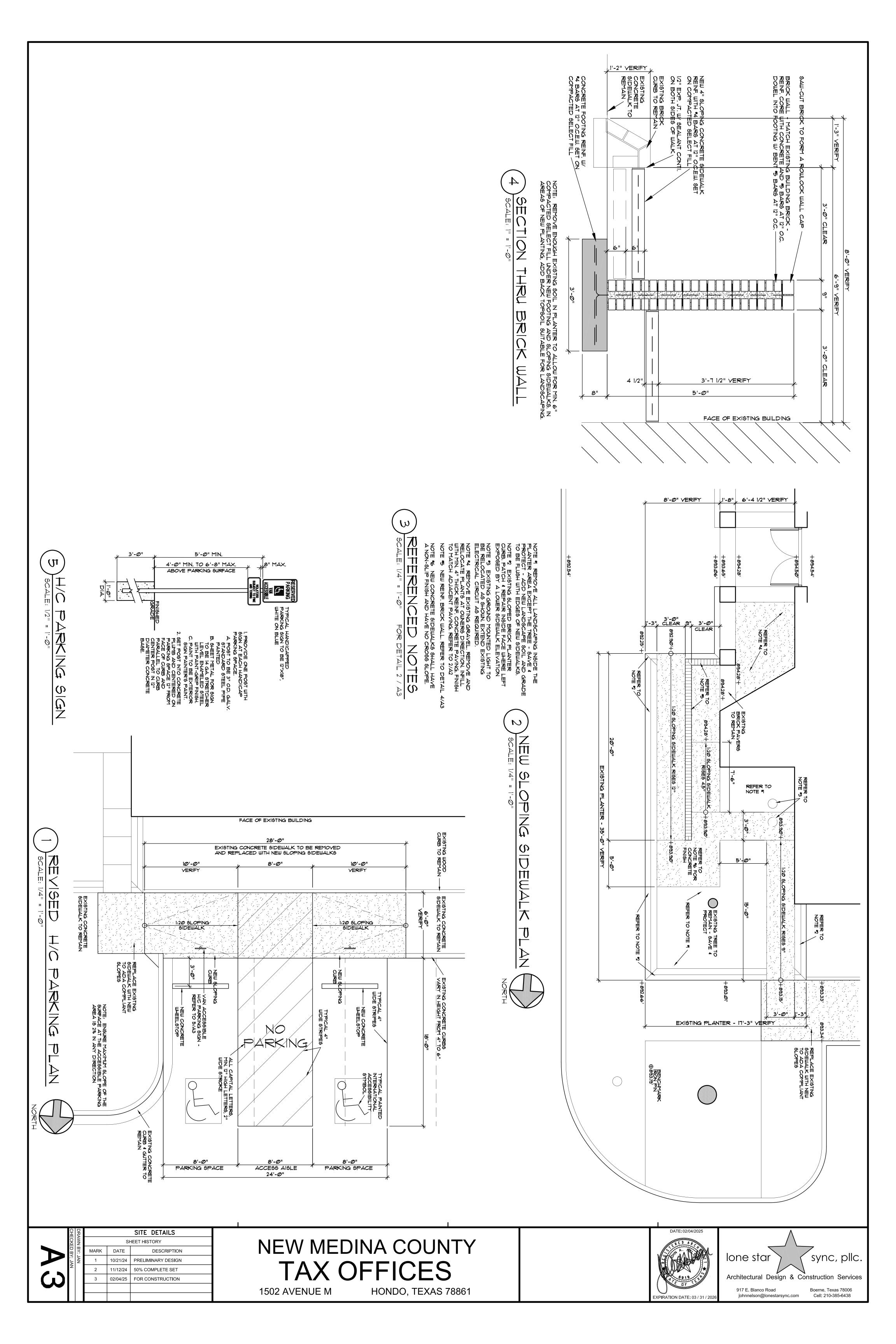
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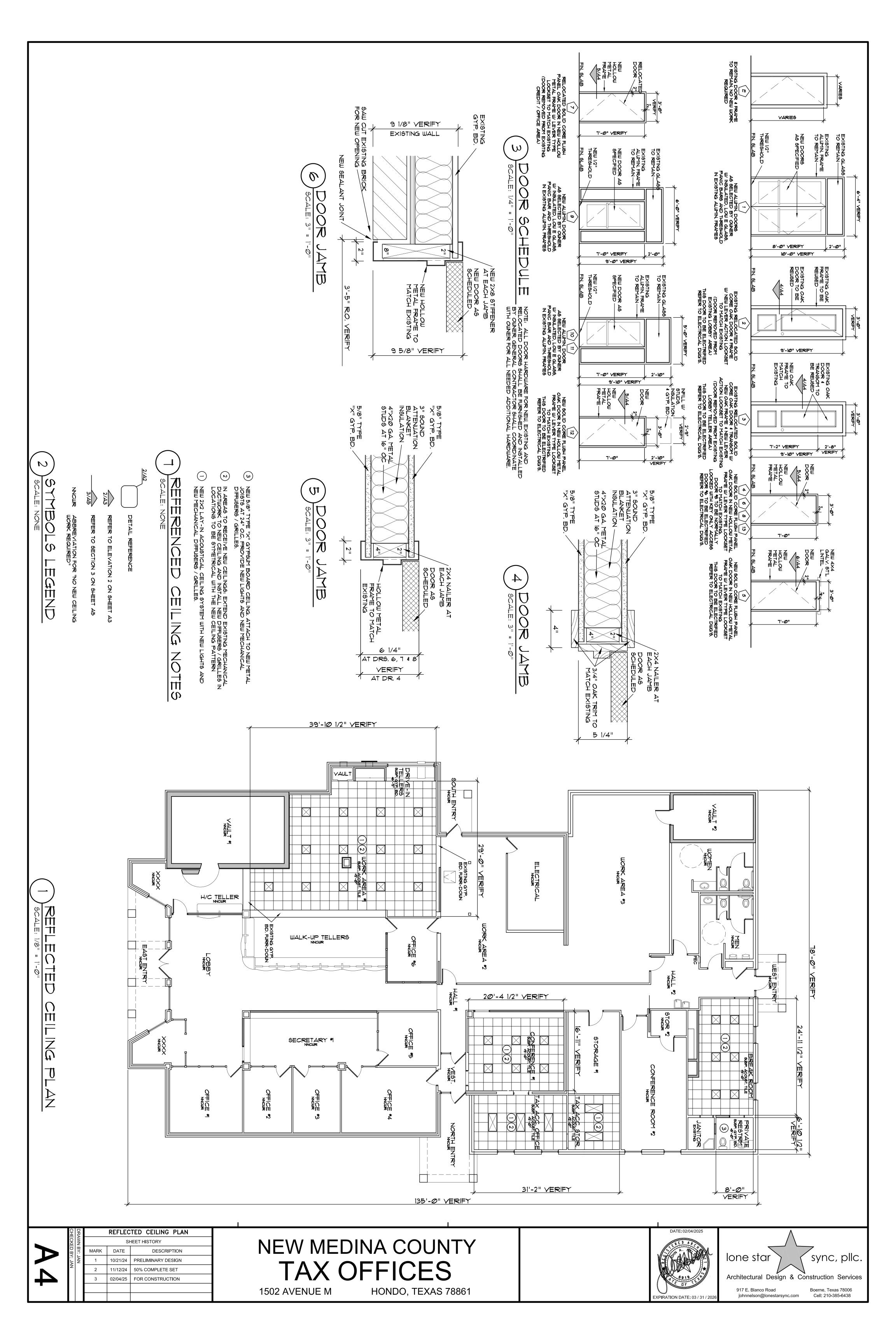


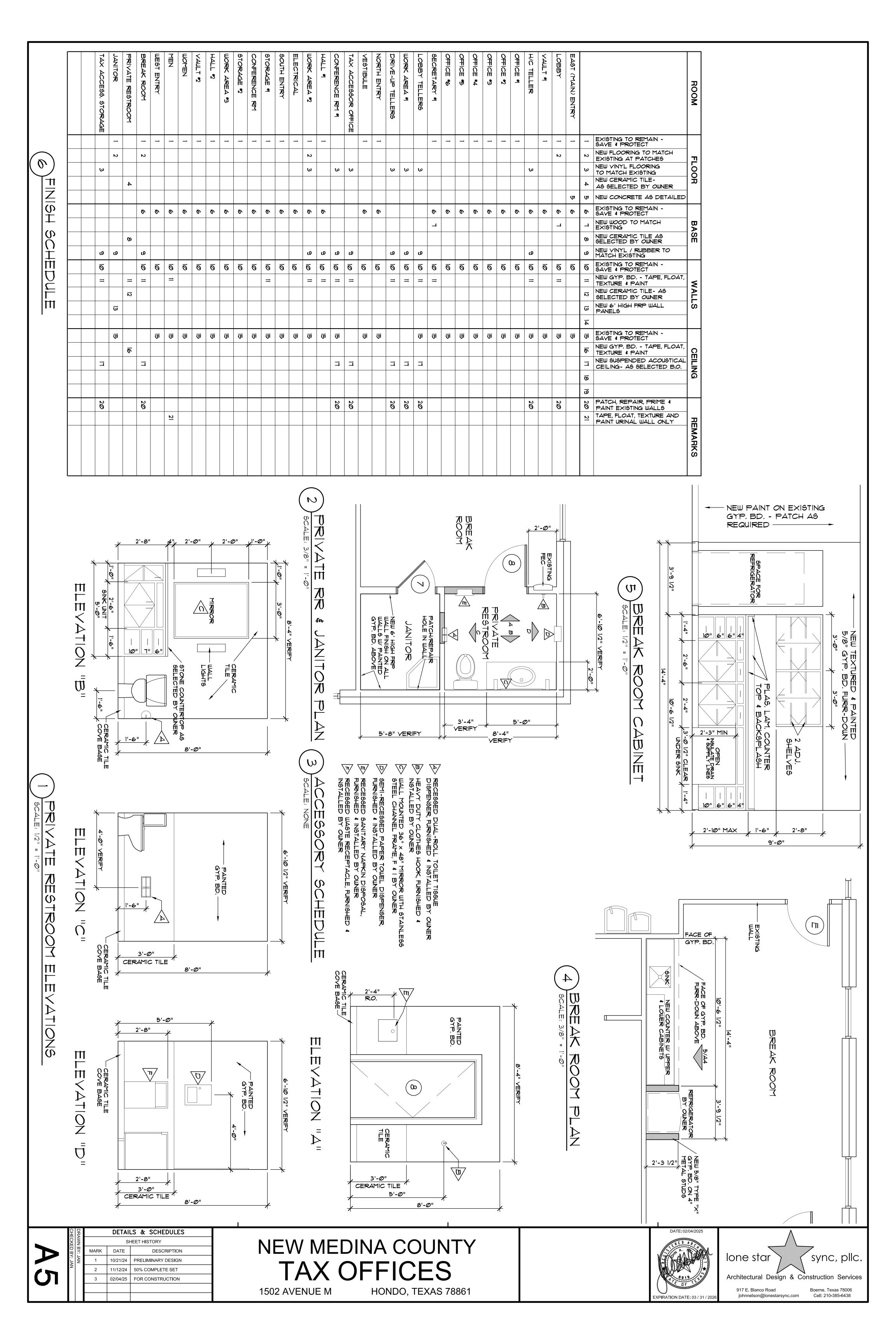


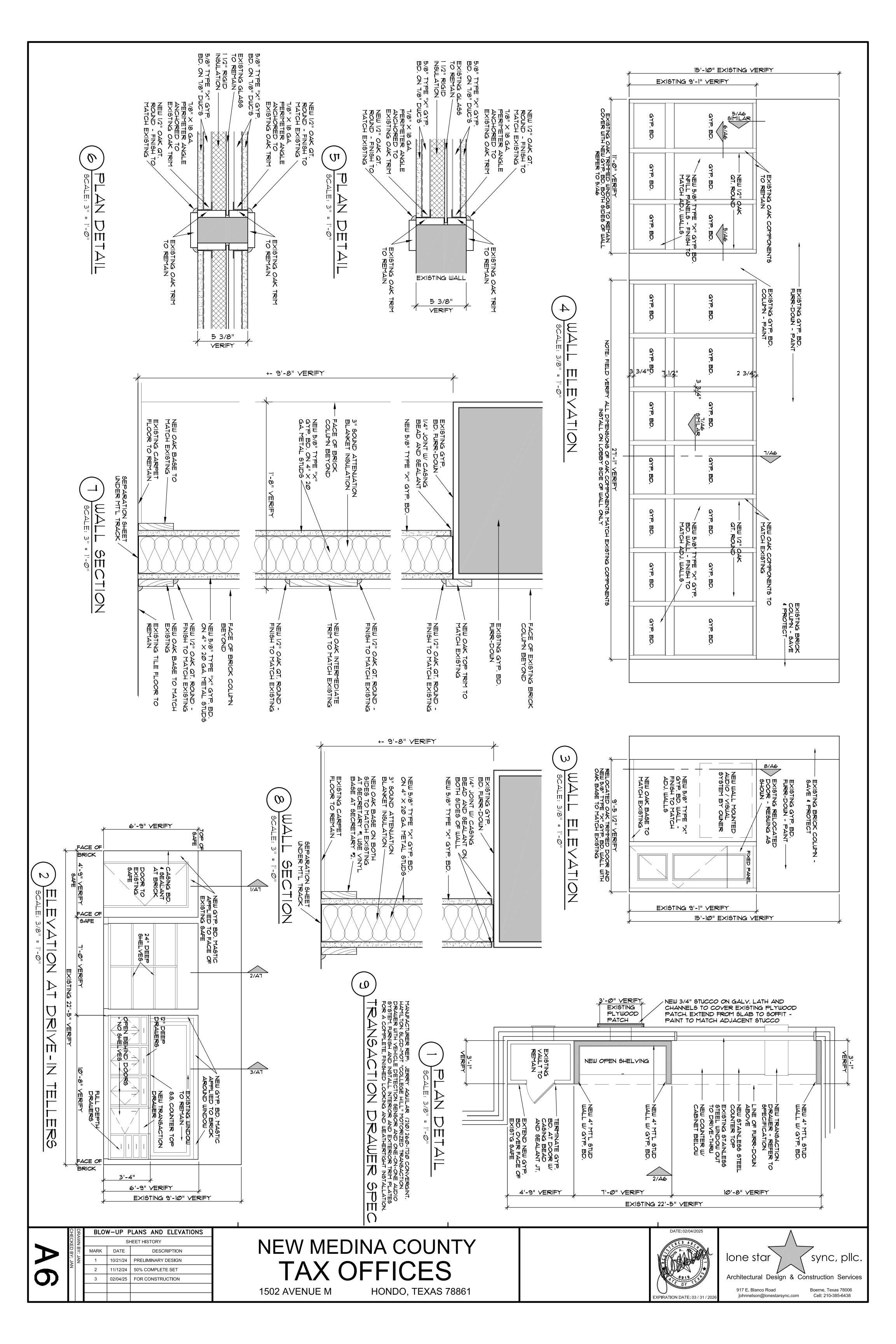


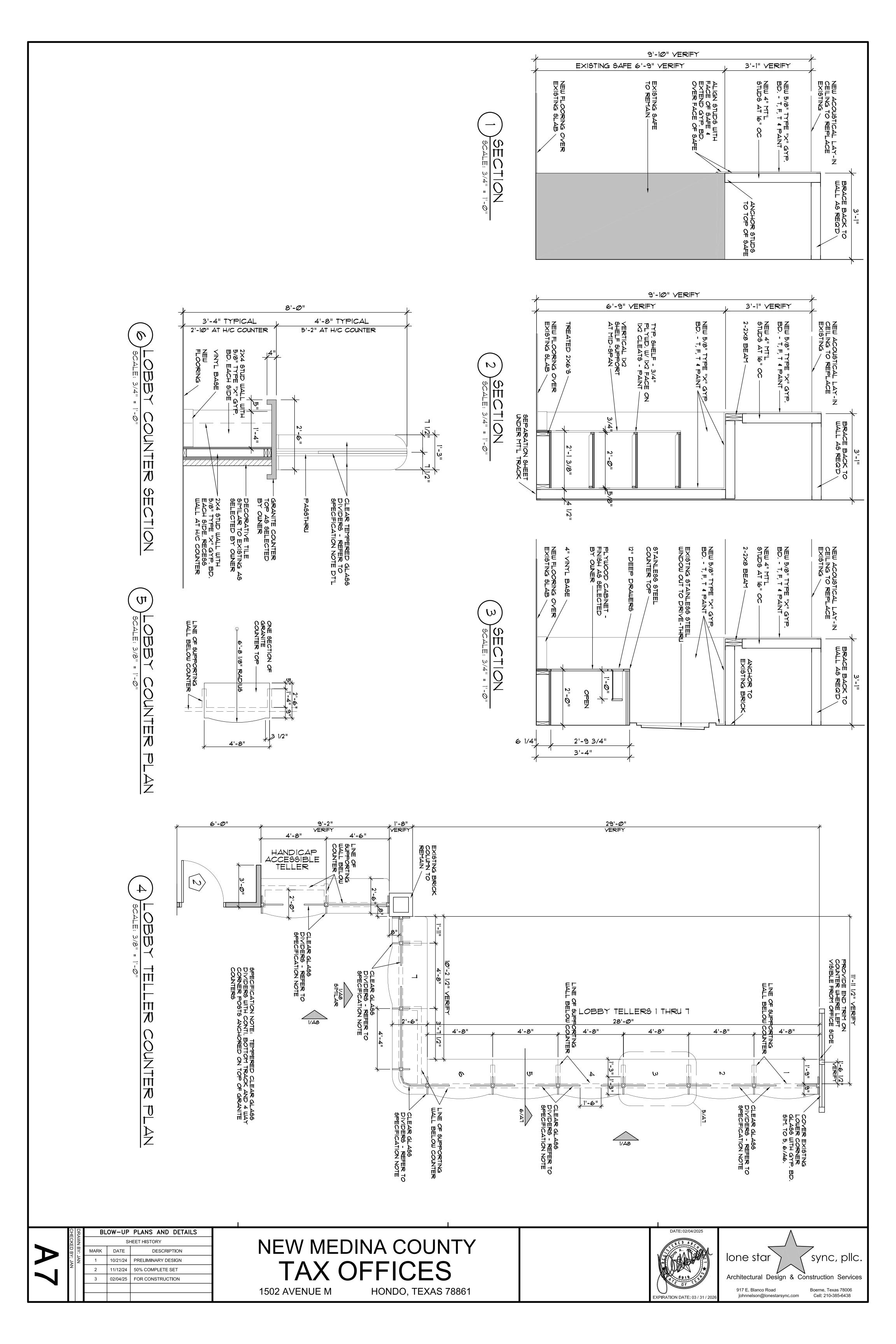












NEW OAK BASE TO MATCH EXISTING BEHIND COUNTERS RECESSED WALL
BELOW H/C COUNTER TEMPERED CLEAR GLASS DIVIDERS -DECORATIVE TILE
SELECTED BY OWNER EXISTING GYP. BD. OPENINGS FOR TRANSACTIONS 6/A7 4'-8" | 147|CAL 1'-8"

15'-10"

10'-6"

A8

5CALE: 3/8" = 1'-0"

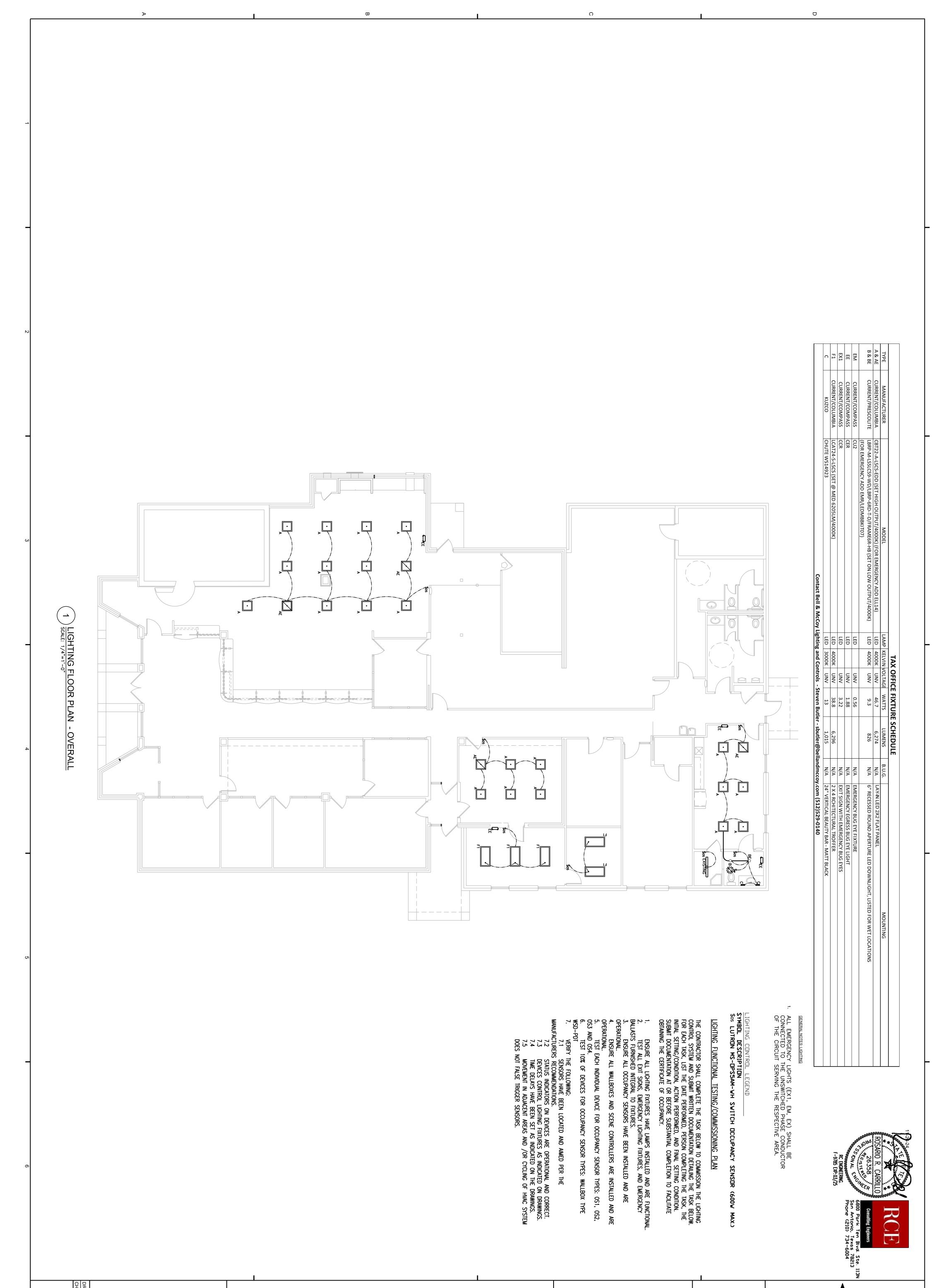
TELLETO ELEVATION

NEW MEDINA COUNTY
TAX OFFICES

1502 AVENUE M HONDO, TEXAS 78861







E1.0

SHEET HISTORY

MARK DATE DESCRIPTION

1 11/11/24 PRELIMINARY DESIGN

2 12/17/24 PERMIT SET

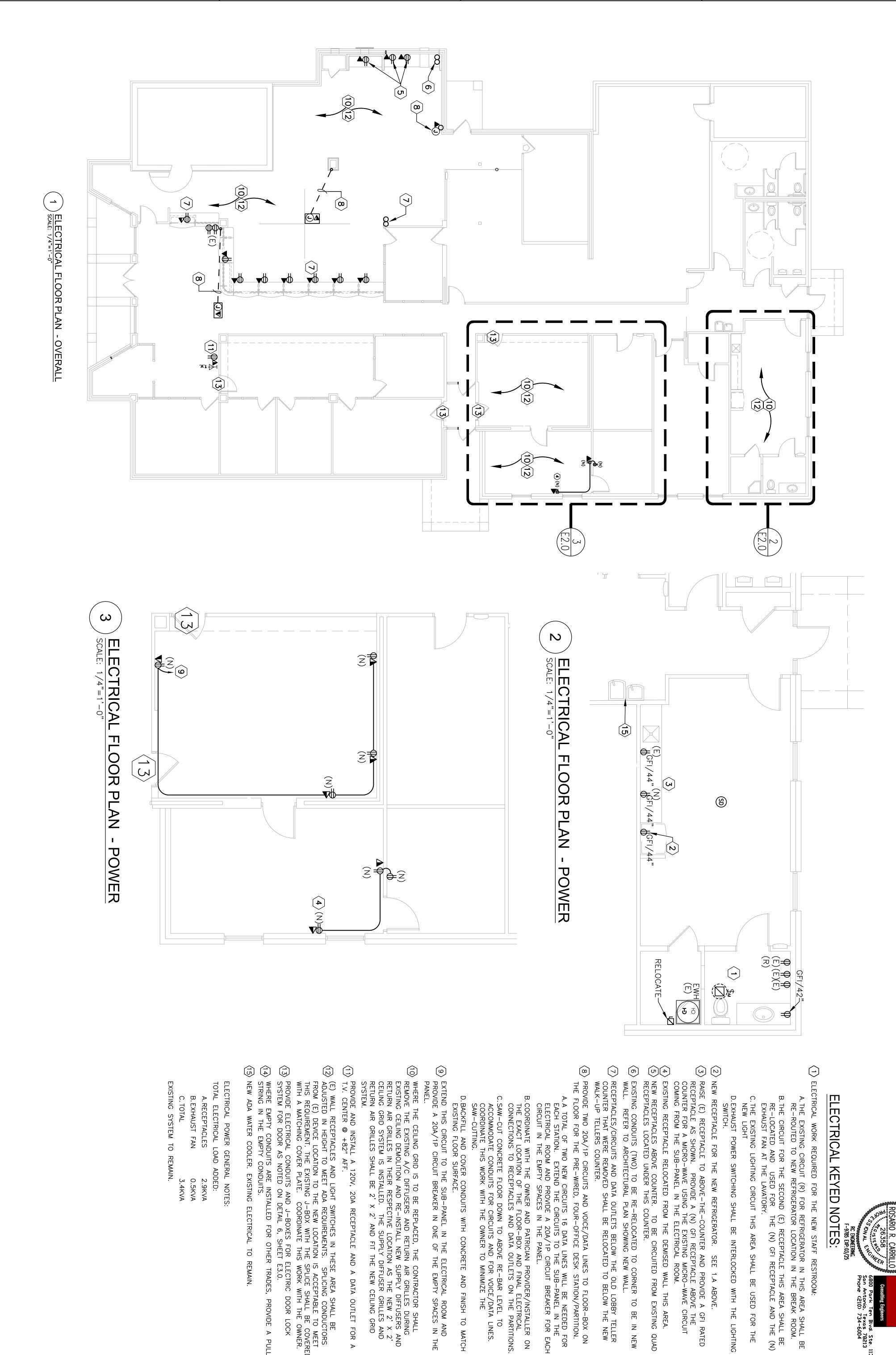
02/05/25 REVISED TAX OFFICE

NEW MEDINA COUNTY
TAX OFFICES

1502 AVENUE M HONDO, TEXAS 78861

ELECTRICAL LIGHTING





 \circ

NEW STAFF

RESTROOM:

AREA SHALL BE BREAK ROOM.

THE NEW REFRIGERATOR.

SWITCHING SHALL BE INTERLOCKED WITH THE LIGHTING

ELECTRICAL KEYED NOTES:

SHEET HISTORY MARK DATE **DESCRIPTION** 11/11/24 PRELIMINARY DESIGN PERMIT SET 12/17/24 02/05/25 **REVISED TAX OFFICE**

NEW MEDINA COUNTY TAX OFFICES

AFF 1

120V, 20A RECEPTACLE

AND A DATA OUTLET FOR A

1502 AVENUE M

SPLICING CONDUCTORS

N IS ACCEPTABLE TO MEET

E SPLICE SHALL BE COVERED

IS WORK WITH THE OWNER.

LOAD

ADDED:

0.5KVA 2.9KVA GENERAL NOTES:

HONDO, TEXAS 78861

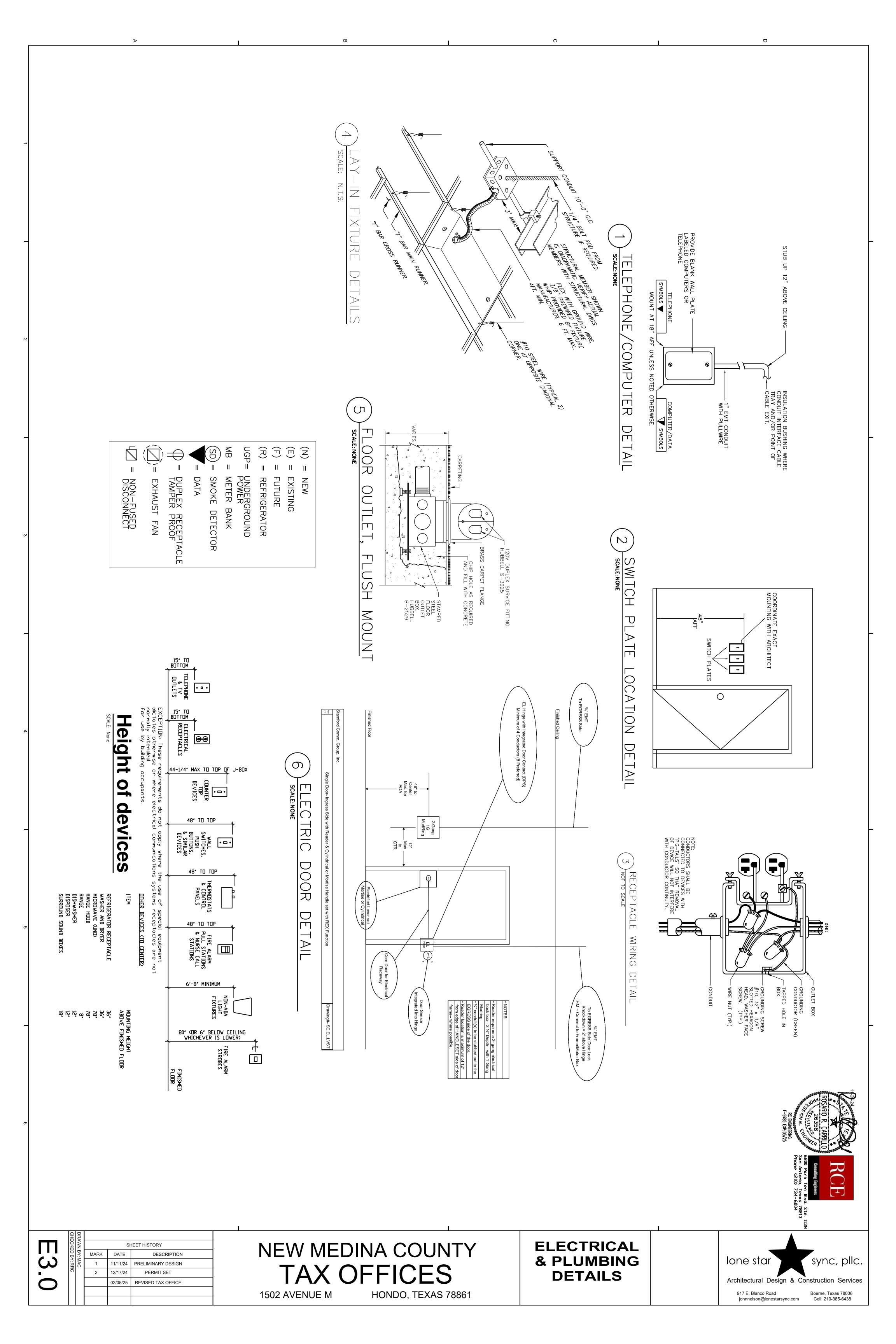
PARTITIONS

ELECTRICAL

CIRCUITED FROM EXISTING QUAD



POWER



2. FILED VERIFICATION OF EXISTING CONDITIONS SHALL BE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL NOTIFY

ARCHITECT/ENGINEERING OF ANY DISCREPANCIES FOUND PRIOR TO SUBMISSION OF BID. QUESTIONS CONCERNING INTENT, AS IT MAY AFFECT CONTRACT PRICE, ARE TO BE RESOLVED IN WRITING PRIOR TO SUBMISSION OF BID. TENDER OF A PROPOSAL CONVEYS FULL CONTRACTOR AGREEMENT OF ITEMS AND CONDITIONS SPECIFIED, SHOWN ON DRAWINGS, SCHEDULED, AND/OR REQUIRED BY NATURE OF THIS PROJECT. NO CLAIM FOR ADDITIONAL COMPENSATION WILL BE CONSIDERED BECAUSE OF CONTRACTOR'S FAILURE TO ANTICIPATE ALL WORK NECESSARY TO PROVIDE A COMPLETE WORKABLE & FUNCTIONAL SYSTEM.

CONTRACTOR SHALL ENSURE FULL COORDINATION OF ALL TRADES AND SUBCONTRACTORS, SHALL COMPARE DRAWINGS OF OTHER TRADES AND SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE. PROVIDE ADDITIONAL RISERS, OFFSETS AS REQUIRED TO AVOID CONFLICT. IF INSTALLED NEW DUCTWORK, CONDUIT, CABLE ETC FOUND TO BE IN CONFLICT WITH ARCHITECTURAL, STRUCTURAL AND OTHER TRADE, EITHER EXISTING OR SHOWN ON CONTRACT DOCUMENTS, INSTALLED DUCTWORK, CONDUIT, CABLE ETC SHALL BE RELOCATED WITHOUT ADDITIONAL COST TO OWNER.

REFER TO ARCHITECTURAL PLANS, REFLECTED CEILING PLANS AND DETAILS FOR EXACT LOCATIONS AND MOUNTING HEIGHT OF ALL LIGHT FIXTURES, DEVICES, EQUIPMENT AND OTHER CEILING AND WALL MOUNTED ITEMS. LOCATION OF CEILING AND WALL MOUNTED DEVICES AND OTHER MEP ITEMS SHOWN ON ARCHITECTURAL DRAWINGS HAVE PRECEDENCE OVER THOSE SHOWN ON MEP DRAWINGS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION.

SUBMIT ALL REQUIRED REPORTS, AS-BUILT DRAWINGS, O&M MANUALS, ETC. WITHIN TWO (2) WEEKS OF DATE OF SUBSTANTIAL COMPLETION OR OWNER OCCUPANCY.

G-INSTALLATION AND METHODS:

1. ARRANGE ALL WORK IN A NEAT, WELL ORGANIZED MANNER WITH SERVICES RUNNING PARALLEL WITH PRIMARY LINES OF BUILDING CONSTRUCTION. LOCATE OPERATING AND CONTROL EQUIPMENT PROPERLY TO PROVIDE EASY ACCESS, AND ARRANGE ENTIRE WORK WITH ADEQUATE ACCESS FOR OPERATION AND MAINTENANCE, AND FOR PROPER CODE CLEARANCES. SUFFICIENT SPACE SHALL BE MAINTAINED FOR REMOVAL OF INDIVIDUAL COMPONENTS WITHOUT REMOVAL OF ENTIRE UNIT.

L-IDENTIFICA 3. ALL PANEL 3. ALL PANEL REMOTE S OTHER EQ NAMEPLAT LAMINATE BACKGROI WHITE BA TO THE EC GIVE THE I ONE LINE I WHITE NAI EXAMPI FED FR

IFICATION:
NELBOARDS, MOTOR STARTERS, CONTROL PANELS, CONTROL
NELBOARDS, MOTOR STARTERS, CONTROL PANELS, CONTROL
TE STATIONS, DISCONNECT SWITCHES, CIRCUIT BREAKERS OR
R EQUIPMENT IN SEPARATE ENCLOSURES SHALL BE EQUIPPED WITH
PLATES. THE NAMEPLATES SHALL BE ENGRAVED RIGID PLASTIC
IATE OR APPROVED EQUAL, WHITE LETTERING ON BLACK
GROUND FOR EQUIPMENT 208/120 VOLT AND BLACK LETTERING ON
E BACKGROUND FOR EQUIPMENT 480/277 VOLT, AND BE ATTACHED
IE EQUIPMENT SECURELY WITH SCREWS. EACH NAMEPLATE SHALL
THE NUMBER DESIGNATION OF THE EQUIPMENT AS SHOWN ON THE
INE DIAGRAM AND ALSO THE SOURCE. UTILIZE SIMILAR RED AND
E NAMEPLATES FOR ALL EMERGENCY POWERED EQUIPMENT.

AMPLE:

PANEL 10LP (1/4" LETTERS)

D FROM PANEL

GENERAL

PROVISIONS

THIS WORK INCLUDES FURNISHING OF ALL LABOR, SUPERVISION, MATERIALS, EQUIPMENT, FIXTURES, APPARATUS, AND APPURTENANCES REQUIRED FOR COMPLETE INSTALLATION OF AN OPERATING SYSTEMS AS INDICATED AND SPECIFIED, IN PLACE AND READY FOR SERVICE. IN ALL CASES SPECIFICATIONS AND DRAWINGS ARE INTENDED TO COMPLIMENT EACH OTHER TO DEFINE A COMPLETE WORKABLE & FUNCTIONAL SYSTEM.

ELECTRICAL NOTES

ALL 120 VOLT, 20 AMP HOME RUNS LONGER THAN 50 FEET AND ALL 277 VOLT, 20 AMP HOME RUNS LONGER THAN 100 FEET SHALL BE #10 MINIMUM. ALL CONDUIT MUST BE CONCEALED IN WALL UNLESS NOTED OTHERWISE.

DISTRIBUTION PANELBOARDS - SQUARE D'INDICATED ON DRAWINGS, COPPER BUSS RANCH CIRCUIT PANELBOARDS - SQUARE EQUIVALENT CUTLER-HAMMER, SIEMENS INDICATED ON DRAWINGS, COPPER BUSS PROVIDE 150% RATED NEUTRAL AND FEE 208/120V PANELS. HERE PANELBOARDS HAVE MULTIPLE PAN JUMPER SIZED PER NEC, SHALL BE USED ENCLOSURE. USE OF CONDUIT AS ONLY NUNACCEPTABLE.

VEL SECTIONS, A BONDING TO BOND EACH PANEL MEANS FOR CONTINUITY IS YPE I-LINE, WITH RATINGS AS NG, AND BOLT-ON BREAKERS

4. BRANCH CIRCUIT PROTECTIVE DEVICE SHALL BREAKERS (WITH CURRENT LIMITING FUSES, CIRCUIT PROTECTIVE DEVICES SHALL BE REOF THE SWITCHBOARD WITHOUT DISTURBIN SWITCH BOARD SHALL SPACE OR PROVISIO CIRCUIT PROTECTIVE DEVICES. CONTRACTOR SHALL PROVIDE ACCURATE SCHEDULES FOR PUNCH. SCHEDULES SHEQUIPMENT SERVED, LOCATION AND/OR COPY PROVIDED IN O&M MANUALS YPE WRITTEN PANEL ALL INDICATE DEVICES AND/OR OOM NUMBERS. SEPARATE ROVIDE HEAVY DUTY DISCONNECTS AS REQUIRED FOR THE PLUMBING AND MECHANICAL EQUIPMENT NOT FURNISHED WITH THE INTEGRAL DISCONNECTS. COORDINATE WITH ALL TRADES.

DORDINATE THE INSTALLATION OF ELECTRICAL AND COMMUNICATION CONDUIT TO FURNITURE SYSTEMS WITH THE ARCHITECT PRIOR TO THE INSTALLATION OF ELECTRICAL ITEMS. VERIFY IN WRITING WITH THE ARCHITECT THAT THE QUANTITY OF WIRES AND CIRCUITS CORRESPONDS TO THE FURNITURE SYSTEMS THAT WILL BE SUPPLIED TO THIS PROJECT.

RCE

Cell: 210-385-6438

MITING AND SHALL BE AWMUT, OR LITTELFUSE. SUITABLE CABINET NEAR THE

SHEET HISTORY DATE **DESCRIPTION** 11/11/24 PRELIMINARY DESIGN 12/17/24 PERMIT SET

1502 AVENUE M

TAX OFFICES

ELECTRICAL SPECIFICATIONS

D-SUBMITTALS, SHOP DRAWINGS, TRADE NAMES AND MANUFACTURERS:

1. CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL NEW EQUIPMENT,

MATERIALS, CONTROLS, AND FIXTURES TO BE PROVIDED. CONTRACTOR

SHALL REVIEW ALL SUBMITTALS PRIOR TO SUBMITTING TO ENGINEER.

SUBMITTALS NOT REVIEWED BY CONTRACTOR WILL BE RETURNED

WITHOUT REVIEW BY ENGINEER. USE OF REPRODUCTIONS OF

CONTRACT DRAWINGS IN LIEU OF PREPARATION OF SUBMITTALS IS

FORBIDDEN. SUBMITTALS RECEIVED BEARING ENGINEER'S TITLE AND/OR

SEAL SHALL BE PROMPTLY REJECTED. AFTER REVIEW HAS BEEN

COMPLETED, SUBMIT A COPY OF EACH SHOP DRAWING TO OWNER WITH

APPROVAL SEAL OF ENGINEER AND CONTRACTOR.

C-LICENSES, PERMITS, INSPECTIONS & FEES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTS, ETC.

IN EVENT THAT MATERIALS, PRODUCTS, AND/OR PROCESS BEING PROPOSED FOR THIS PROJECT CONTAIN OR MAY EMIT ANY VOLATILE ORGANIC COMPOUND (VOC), FORMALDEHYDE FORMULATIONS, OR HAZARDOUS OUT-GASSING AS DETERMINED BY MANUFACTURER, A MATERIALS SAFETY DATA SHEET SHALL BE SUBMITTED AS PART OF SHOP DRAWING PROCESS FOR REVIEW BY ARCHITECT/ENGIEER.

M - STRUCTURE

1. BUILDING MAY HAVE A STRUCTURAL SYSTEM UTILIZING PRE-TENSIONED OR POST-TENSIONED CABLES. CONTRACTOR SHALL DETERMINE STRUCTURAL SYSTEM PRIOR TO CUTTING, DRILLING, OR CORING. IF PRE-TENSIONED OR POST-TENSIONED CABLES ARE EXISTING, CONTRACTOR SHALL X-RAY ALL PENETRATIONS PRIOR TO CUTTING FLOOR SLAB.

12. EMT CONDUIT SHALL BE SIZED IN ACCORDANCE WITH THE PERCENT FILL REQUIREMENTS OF THE NEC AND AS INDICATED ON THE DRAWINGS AND SHALL BE OF AMPLE SIZE TO PERMIT THE READY INSERTION AND WITHDRAWAL OF CONDUCTORS WITHOUT ABRASION. GROUPING OF "HOME RUNS" IS ACCEPTABLE ONLY WHERE THE NUMBER OF CONDUCTORS INDICATED ON THE DRAWINGS IS MAINTAINED AND THE PROPER NEC DE-RATING FACTORS ARE APPLIED BASED ON FULL RATING OF THE BRANCH CIRCUIT OVERCURRENT PROTECTION DEVICES. FOR 20 AMP CIRCUITS, NOT MORE THAN NINE(9) - #12 THHN OR #10 THHN CURRENT CARRYING (PHASE & NEUTRAL) CONDUCTORS SHALL BE INSTALLED IN EACH RACEWAY.

NEW CIRCUITRY SHALL BE ACCURATELY IDENTIFIED AT THE RESPECTIVE ABOVE CEILING JUNCTION BOXES. THE ASSOCIATED PANEL, CIRCUITS, AND VOLTAGE SHALL BE IDENTIFIED ON ALL JUNCTION BOX COVERS.

EXAMPLE: 10LP-3 --

-- PHASE CONDUCTOR IDENTIFICATION

11. NO RUN OF CONDUIT SHALL HAVE MORE THAN 360 DEGREES OF BENDS AND SHALL NOT BE MORE THAN 100 FEET IN LENGTH WITHOUT A PULL OR JUNCTION BOX OF THE PROPER SIZE AS REQUIRED PER NEC.

7. REFER TO LIGHTING FIXTURE SCHEDULE. FI COMPLETE WITH APPURTENANCES .

6. EACH LUMINAIRE SHALL CARRY A 3-YEAR M COVERING FAILURE OF ALL ELECTRICAL (

NIMUM PRODUCT OMPONENTS.

8. PROVIDE ALL MOUNTING ACCESSORIES REC

JIRED FOR INSTALLATION AT

ALL WALL MOUNTED OUTLETS AND/OR BOXES SHALL NOT BE MOUNTED BACK-TO-BACK ON EITHER SIDE OF WALL AND SHALL BE SEPARATED BY A WALL STUD.

4. SHALL BE TESTED IN ACCORDANCE WITH LY PHOTOMETRIC MEASUREMENTS.

5. THE CCT SHALL BE 3500K UNLESS OTHERW

CONDUIT SHALL NOT BE FASTENED TO CEILING GRID. ALL CONDUIT SHALL BE ROUTED AND SUPPORTED FROM THE STRUCTURE ABOVE THE CEILING LINE.

MC CABLE WITH CONDUCTORS SHALL ONLY BE ACCEPTABLE TO BE USED FOR LIGHTING FIXTURE WHIPS AND SHALL NOT EXCEED 6 FEET IN LENGTH. MC CABLE SHALL NOT BE UTILIZED IN ANY WALLS FOR RUN-OUTS TO WIRING DEVICES OR FOR ANY HORIZONTAL RUNS ABOVE THE CEILING LINE. MC CABLE SHALL NOT BE INSTALLED IN EXPOSED LOCATIONS.

<u>D - LIGHTING:</u> 1. <u>LIGHTING</u> FIXTURES SHALL MEET DOE'S ENE CONSORTIUM PERFORMANCE CRITERIA.

2. THE LUMINAIRE MANUFACTURER SHALL PR NAME OF THE LED BEING USED IN THE LU

OVIDE THE MANUFACTURER'S MINAIRE.

(GY STAR OR DESIGN LIGHT

EFER TO PLUMBING AND MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND POWER REQUIREMENTS FOR EACH RESPECTIVE SYSTEM.

ECEPTACLES ORIENTED HORIZONTAL SHALL UP AND GROUND TERMINAL TO LEFT.

SHALL BE UL LISTED AND BE FURNISHED CO POWER SUPPLIES.

COMMUNICATION: PROVIDE A 4" SQUARE BOX, 3/4" CONDUIT AND PULL STRING TO ACCESSIBLE CEILING SPACE FOR ALL COMMUNICATION AND A/V DEV UNLESS NOTED OTHERWISE.

LL COMMUNICATIONS WIRING TO BE INSTALLED IN THE RETURN AIR PLENUM, SHALL BE PLENUM RATED, AND SHALL BE FURNISHED AND INSTALLED BY THE PROPOSED TENANT/OWNER.

SE ZINC COATED STEEL CONDUIT FITTINGS WITH INSULATED THROATS FOR EMT AND FLEXIBLE CONDUIT CONNECTORS AND COUPLINGS. MALLEABLE IRON (DIE CAST) CONDUIT FITTINGS ARE NOT ACCEPTABLE

JPPORT HORIZONTAL RUNS OF EMT CONDUIT AT INTERVALS NOT TO EXCEED 10'-0" AND WITHIN 3' FROM FITTINGS, BOXES, PANELS, ETC. CEILING TEE CLIPS ARE NOT ACCEPTABLE. SUPPORT SHALL BE PER NEC AND LOCAL REQUIREMENTS.

IG DEVICES (EXCLUDING LIGHT SWITCHES) SHALL BE LABELED F.F-ADHESIVE, LAMINATED TAPE INDICATING THE CIRCUIT NUMBER EL DESIGNATIONS. UTILIZE CLEAR TAPE WITH BLACK LETTERS NOTED OTHERWISE. PROVIDE SAMPLE OF LABELS TO ARCHITECT DLORD FOR APPROVAL PRIOR TO INSTALLATION.

ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED RECOMMENDATIONS FOR SERVICE INTENDED, AS INTERPRETED BY ENGINEER. INSTALLATION OF ALL EQUIPMENT SHALL BE MADE BY EXPERIENCED CRAFTSMAN IN A NEAT, WORKMANLIKE MANNER. ALL MATERIALS, TOOLS, COSTS, AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK SHALL BE PROVIDED BY CONTRACTOR.

TO CONSERVE CEILING SPACE AND NOT INTERFERE WITH USE OF SPACE, INSTALL CONDUIT AND PIPING TIGHT TO STRUCTURE OR AS HIGH AS POSSIBLE UNLESS NOTED OTHERWISE.

2. EQUAL PRODUCTS: NAMING OF A MANUFACTURER AND MODEL NUMBER, OR OTHER IDENTIFYING DESIGNATION, OF A PRODUCT HEREIN IS INTENDED TO ESTABLISH CONSTRUCTION, PHYSICAL SIZE, ELECTRICAL CHARACTERISTICS, CAPACITIES, AND/OR OTHER FEATURES AFFECTING UTILIZATION OF PRODUCT IN THIS PARTICULAR PROJECT, UNLESS OTHERWISE NOTED. PRODUCTS OF OTHER MANUFACTURERS WILL BE CONSIDERED AND WILL BE ACCEPTED IF THEY ARE EQUAL IN ALL RESPECTS TO SPECIFIED PRODUCTS, AND CONTRACTOR HAS SUBMITTED A LETTER STATING THAT HE HAS INVESTIGATED SUBSTITUTION AND STATES IN WRITING THAT PROPOSED SUBSTITUTION IS EQUAL OR BETTER IN EVERY RESPECT TO THAT SHOWN ON DRAWINGS AND SPECIFICATIONS. DECISION AS TO EQUALITY SHALL REST WITH ENGINEER, AND SUCH PRODUCT SHALL BE FINAL. SHOULD PRODUCT OF AN ALTERNATE MANUFACTURER BE "APPROVED", CONTRACTOR PROPOSING SUCH PRODUCT SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS TO OTHER CONTRACTORS FOR CHANGES ON THEIR WORK NECESSITATED BY SUBSTITUTE. SUBSTITUTION PROPOSALS SHALL CONFORM TO REQUIREMENTS OF GENERAL AND SUPPLEMENTAL GENERAL CONDITIONS AND SPECIAL PROVISIONS. ANY QUESTIONS REGARDING ACCEPTABILITY OF A PROPOSED EQUAL SHALL BE RESOLVED PRIOR TO TIME A BID IS SUBMITTED.

I-PHASING REQUIREMENTS:

1. CONTRACTOR SHALL VERIFY ALL WORKING CONDITIONS SUCH AS STARTING TIME, NOISE AND VIBRATION LIMITATIONS, CONFINED SPACE, ETC. THROUGH PROJECT COORDINATOR AND APPROVAL SHALL BE RECEIVED TO START WORK. ANY SHUTDOWN OF ELECTRICAL POWER, MECHANICAL SERVICE, OR PLUMBING UTILITIES SHALL BE COORDINATED WITH OWNER AND SCHEDULED THROUGH PROJECT COORDINATOR.

B - WIRING DEVICES:

1. WIRING DEVICES SHALL BE COMMERCIAL GRADE, HEAVY DUTY, UL LISTED UNLESS NOTED OTHERWISE WITH HIGH IMPACT THERMOPLASTIC (NYLON) FACE OR HANDLE. VERIFY COLOR WITH ARCHITECT PRIOR TO SUBMITTALS. ACCEPTABLE MANUFACTURERS - HUBBELL, LEVITON, NLIGHT, DOUGLAS, WATTSTOPPER, LUTRON OR ACCEPTABLE MANUFACTURERES.

ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC

ALL CONDUIT BURIED IN CONCRETE OR MASONARY OR OUTDOOR APPLICATION SHALL BE GALVANIZED RIGID STEEL OR EMT WITH W.P FITTING.

AT ALL EXPOSED CEILING AREAS, UTILIZE 3/4" MINIMUM EMT CONDUIT FOR ALL BRANCH CIRCUITING, FIRE ALARM, AND CONTROLS CABLING. COORDINATE ALL CONDUIT ROUTING WITH THE ARCHITECT PRIOR TO INSTALLATION AND PROVIDE A SHOP DRAWING FOR REVIEW THAT INDICATES ALL PROPOSED CONDUIT ROUTING AT EXPOSED CEILING AREAS. ALL CONDUIT SHALL BE INSTALLED PARALLEL AND PERPENDICULAR TO THE LINES OF THE BUILDING AND SHALL BE PAINTED TO MATCH THE FINISH OF THE STRUCTURE.

11. PROVIDE ALL MOUNTING ACCESSORIES REQUITHE LOCATION INDICATED. PROVIDE ALL FIX RECESSED WITH ANY ACCESSORIES REQUIFICEILING CONSTRUCTION INDICATED. INSTAL PERMIT REMOVAL FROM BELOW. REFER TO FOR CEILING DETAILS AND FINISH SCHEDUL

PROVIDE HANGER WIRES TO STRUCTURE ON DIAGONAL CORNERS PER AUSTIN CODE REQUIREMENTS ON ALL TROFFER FIXTURES IN GRID CEILINGS TO FASTEN FIXTURE TO CEILING SUPPORT TEES. PROVIDE 6' OF FLEXIBLE METAL CONDUIT AT ALL TROFFERS TO ALLOW FIXTURE TO BE RELOCATED TO ADJACENT TILE. NEATLY COIL EXCESS CONDUIT AND SUSPEND FROM STRUCTURE WITH WIRE TIES.

.L WALL MOUNTED FIRE ALARM DEVICES LOCATED ADJACENT TO LIGHT SWITCHES SHALL BE ALIGNED VERTICALLY.

ECTRICAL CONTRACTOR SHALL PROVIDE CONTROL POWER AND CONNECTION OF SMOKE DAMPERS TO BUILDING FIRE ALARM SYSTEM AS REQUIRED. PROVIDE ADDITIONAL SMOKE DETECTORS AS REQUIRED FOR ACTIVATION OF DAMPERS. COORDINATE WITH MECHANICAL CONTRACTOR.

ROBE TO BE UL LISTED TO STANDARD 1971 AND APPROVED FOR ADA. PROVIDE MINIMUM ILLUMINATION OF 0.0375 FOOTCANDLES PER SQUARE FOOT IN AREAS REQUIRED TO HAVE VISIBLE SIGNALING IN ACCORDANCE WITH NFPA 72.

IN ACCESSIBLE BATHROOMS
IGNAL DEVICE AND WIRE BACK TO
IY POWER CIRCUIT, VERTICAL
PROVIDE DEVICES WITH

DITTLE DEVICE
BY THE DEVICE.

HONDO, TEXAS 78861

LIGHT FIXTURES DESIGNATED AS "BUILDING STANDARD" MAY BE OBTAINED FROM LANDLORD STOCK IF AVAILABLE. ADDITIONAL FIXTURES SHALL BE PROVIDED BY CONTRACTOR AND SHALL EXACTLY MATCH THE BUILDING FIXTURES AS DEFINED BY THE LANDLORD.

10. LAMPS: REFER TO LIGHTING FIXTURE SCHI

9. REFER TO LIGHTING FIXTURE SCHEDULE. FI COMPLETE WITH LAMPS.

RECEPTACLES SHALL BE NEMA 5-20R, LEVITON DECORA STYLE, UNLESS INDICATED OTHERWISE.

2. ELECTRODE CONNECTIONS AND CONNECTION BURNDY HYGROUND COMPRESSION SYSTEN THE BUILDING STRUCTURE SHALL BE WELD AROUND THE ENTIRE PERIMETER OF THE CEXOTHERMIC WELD PROCESS USING THE SIFOR EACH TYPE OF CONNECTION IS ALSO A

SECONDARY GROUNDING:
ONDUCTORS - STRANDED COPPER WITH G
INSULATION.

REEN TW OR THHN

WHERE MORE THAN TWO STROBES ARE PRES SYNCHRONIZED FLASH RATE. INSTALL IN ACCOPERABLE ON 24 VOLTS DC, UTILIZING A HIC XENON STROBE TUBE PRODUCING 75 CAND ST24-110-WW VISUAL SIGNAL DEVICE AND WANNEL AND EMERGENCY POWER CIRCUIT.

NSTALL MODEL NO. 7109CS-W STAND-ALONE, HARD WIRED, COMBINATION, SMOKE SENSOR/VISUAL SIGNAL DEVICE; COMPLETE WITH 9VDC BATTERY BACK-UP.

ALL BOX DIMMING SWITCHES SHALL BE 1000W (OR 1500W IF REQUIRED BY CONNECTED LOAD), LINEAR SLIDE CONTROL, ON/OFF SWITCH. LEVITON RENOIR OR EQUIVALENT BY OTHER ACCEPTABLE MANUFACTURERS. PROVIDE DIMMERS COMPATIBLE WITH LIGHTS BEING CONTROLLED.

. WALL MOUNTED OCCUPANCY SENSING SWITCHES SHALL BE INTELLIGENT, SELF ADJUSTING, MULTI TECHNOLOGY (PASSIVE INFRARED AND ULTRASONIC).

4. EQUIPMENT ROOM GROUND BUSSES: SOLII SIZED AS INDICATED ON THE DRAWINGS. E SYSTEMS, B542A004 FOR COMMUNICATIO

COPPER, 18" X 2" X 1/4" OR RICO B542B004 FOR POWER NS SYSTEMS.

SION TYPE RING LUG

ND IN ALL CIRCUITS. SIZE

PROVIDE A SEPARATE "GREEN WIRE" GROU ACCORDING TO THE NEC.

EQUIPMENT GROUND CONNECTIONS: COMP

COORDINATE THE DEVICE STYLE, COLOR, FINISHM EXAACT LOCATION AND HEIGHT OF ALL FIXTURE AND DEVICES WITH THE ARCHITECT PRIOR TO INSTALLATION.

- <u>BOXES:</u>
INTERIOR BOXES: GALVANIZED STEEL, UL LISTED, SIZED IN ACCORDANCE WITH THE NEC. MINIMUM SIZE SHALL BE 4" SQUARE X 1 1/2" DEEP WITH SINGLE GANG PLASTER RING. (SINGLE GANG "HANDY" BOXES ARE NOT ACCEPTABLE.) SEAL ALL UNUSED OPENINGS IN BOXES.

ALL WIRING DEVICES SHALL BE RATED 20-AMP MINIMUM.

CEILING MOUNTED OCCUPANCY SENSOR SHALL BE INTELLIGENT, SELF ADJUSTING, MULTI TECHNOLOGY (PASSIVE INFRARED AND ULTRASONIC) WITH POWER PACK AND SLAVE UNIT FOR SWITCHING TWO CIRCUITS TOTAL. LOCATE AS RECOMMENDED BY MANUFACTURER.

BUILDING SERVICES INCLUDING BUT NOT LIMITED TO UTILITIES, POWER, FIRE PROTECTION, CHILLED WATER DOMESTIC WATER SHALL NOT BE DISRUPTED FOR ANY REASON WITHOUT PRIOR COORDINATION WITH A REPRESENTATIVE OF BUILDING MANAGEMENT AND OWNER AND A WRITTEN AUTHORIZATION FROM BUILDING MANGER AND OWNER DESIGNATING A DATE, TIME AND DURATION THAT ARE APPROVED BY BUILDING MANAGER AND OWNER FOR SUCH DISRUPTION. AN ADDITIONAL ADVANCE NOTIFICATION OF SEVEN (7) DAYS SHALL BE GIVING TO BUILDING MANAGER AND OWNER PRIOR TO EACH DISRUPTIONS.

H-SLEEVES, HANGERS, SUPPORTS, PENETRATIONS:

1. SEAL ALL PIPE AND CONDUIT PENETRATIONS THRU FIRE RATED WALLS AND FLOOR SLABS WITH FIRE CAULKING EQUAL TO 3M BRAND CP25WP FIRE CAULK AND AS APPROVED BY ARCHITECT. INSTALL CAULKING IN STRICT ACCORDANCE WITH ALL MANUFACTURERS RECOMMENDATIONS AND WRITTEN INSTRUCTIONS AND IN STRICT ACCORDANCE WITH ALL APPLICABLE UL DETAILS.

SEAL ALL PENETRATIONS AT SOUND RATED WALLS WITH SOUND-PROOFING MATERIAL.

PROVIDE ACCESS PANEL TO JUNCTION BOXES, PULL BOXES AND OTHER ELECTRICAL ITEMS ABOVE ACCESSIBLE CEILINGS. COORDINATE ACCESS PANEL TYPE AND LOCATION WITH ARCHITECT.

ALL EQUIPMENT AND MATERIAL TO BE FURNISHED AND INSTALLED ON THIS PROJECT SHALL BE UL OR ETL LISTED, IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION, AND SUITABLE FOR ITS INTENDED USE ON THIS PROJECT.

E - GUARANTEE:

1. ALL WORK SHALL BE GUARANTEED IN WRITING BY EACH CONTRACTOR OR SUB-CONTRACTOR PERFORMING WORK COVERED BY THESE DIVISIONS AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR INCLUDING ONE (1) FULL HEATING SEASON AND ONE (1) FULL COOLING SEASON AFTER DATE OF SUBSTANTIAL COMPLETION OR ACCEPTANCE BY OWNER. CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS OWN EXPENSE WHEN ORDERED TO DO SO, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN SAID PERIOD OF TIME. CONTRACTOR SHALL DELIVER TO OWNER A COPY OF ANY EXTENDED WARRANTIES THAT EXTEND PAST ONE YEAR. REPAIR ALL DAMAGE OR DISTURBANCE TO ADJACENT WORK AS A RESULT OF WARRANTY REPAIR OR REPLACEMENT TO OWNER'S SATISFACTION AT NO COST TO OWNER. DURING THE WARRANTY PERIOD THE CONTRACTOR SHALL GUARANTEE THE FOLLOWING IN A FORM SATISFACTORY TO THE OWNER/TENANT:

a. ALL WORK INSTALLED SHALL BE FREE FROM ANY AND ALL DEFECTS IN WORKMANSHIPAND/OR MATERIALS.
b. ALL APPARATUS WILL DEVELOP CAPACITIES AND PERFORMANCE CHARACTERISTICS SPECIFIED.
c. THE SYSTEMS SHALL OPERATE WITHOUT MALFUNCTION.

J-CONSTRUCTION NOTES:

1. PRE-CONSTRUCTION SERVICE CHECK-OUT: - SUCCESSFUL CONTRACTOR

SHALL PERFORM FOLLOWING PRE-CONSTRUCTION SERVICE CHECK-OUT

AFTER THE AWARD OF CONTRACT, AND BEFORE BEGINNING

CONSTRUCTION.

PREMIUM TIME MAY BE REQUIRED TO PERMIT CERTAIN PORTIONS OF WORK TO BE PERFORMED AT TIMES ACCEPTABLE TO BUILDING MANAGER AND OWNER. COST OF SUCH PREMIUM TIME SHALL BE INCLUDED AS PART OF BASIC CONTRACT COST.

PROJECT CLOSE-OUT - CONTRACTOR SHALL PERFORM FOLLOWING TASKS UPON PROJECT COMPLETION.

VERIFY LOCATION, MOUNTING HEIGHT AND ORIENTATION OF ALL WIRING DEVICES AT MILLWORK LOCATIONS WITH ARCHITECT PRIOR TO ROUGH

3. DO NOT INSTALL BOXES BACK-TO-BACK IN WA INCH SEPARATION. IN ACOUSTIC-RATED WAI ALSO PROVIDE ACOUSTIC INSULATION BATT INSULATION BATT SHALL EXTEND 6" ABOVE TO ARCHITECTURAL PLANS FOR ACOUSTICINSULATION BATTS SHALL BE CERTAINTEED ACOUSTABLANKET BLACK, TYPE 150, 1" THIC

WALLS. PROVIDE MINING...
WALLS AND WALLS TO DECK
ATTS BETWEEN BOXES.
VE AND 6" BELOW BOXES. REFER
YTATED WALL LOCATIONS.

RIGIDLY SUPPORT ALL BOXES IN ACCORDA

NCE WITH NEC ARTICLE 370-23.

AT THE 2 HOUR FIRE PARTITION AROUND THE OF THE FIRE WALL IS PROHIBITED EXCEPSECURITY DEVICES SERVING THE STAIRV

STAIRWELLS, PENETRATION OR FIRE ALARM AND

ERTAPRO OR EQUIVALENT.

LOOR BOXES: FLUSH MOUNTED, FIRE RATE LISTED TO MATCH THE RATING OF THE FLALUMINUM, TRIM TO SUIT APPLICATION. WINDICATED OTHERWISE.

ED POKE THROUGH TYPE, U. L OOR, FLUSH DIE-CAST REMOLD RC4 SERIES UNLESS

ALL NEW GFI RECEPTACLES INDICATED ON THE PLANS SHALL MEET THE REVISED 2006 U.L. #943 REQUIREMENTS. DEVICES MARKED AS WEATHERPROOF SHALL BE UL LISTED WEATHER RESISTANT TYPE.

POKE-THRU AND FLUSH MOUNT FLOOR FITTING REQUIRING PENETRATION OF THE FLOOR SLAB SHALL BE PROVIDED WITH A BUILDING STANDARD DEVICE, APPROVED BY THE AHJ AND UL LISTED. DEVICE SHALL HAVE A FIRE RATING EQUAL TO THE FLOOR SLAB RATING. ALL CORE SIZE AND LOCATION SHALL BE SUBMITTED TO THE BUILDING OWNER, ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO CORING.

SUBMIT "AS-BUILT" RECORD DRAWINGS INDICATING ACTUAL AS-BUILT CONDITIONS TO THE ARCHITECT/ENGINEER FOR REVIEW. RECORD DRAWINGS SHALL BE STAMPED "AS-BUILT" AND SHALL HAVE THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE CONTRACTOR. ALL ENGINEERS' SEALS SHALL BE REMOVED FROM THE DRAWINGS. PROVIDE FOUR (4) BLACK AND WHITE DIGITAL COPIES AND ONE (1) ELECTRONIC FILE.

VISIT SITE OF PROPOSED CONSTRUCTION TO BECOME THOROUGHLY FAMILIAR WITH DETAILS OF WORK AND WORKING CONDITIONS, VERIFY DIMENSIONS IN FIELD, AND ADVISE A/E OF DISCREPANCIES BEFORE PERFORMING WORK.

2. CONTRACTOR SHALL PROTECT WORK, EQUIPMENT AND MATERIAL FROM DAMAGE BY HIS WORK OR HIS PERSONNEL AND SHALL CORRECT ALL DAMAGE THUS CAUSED WITHOUT ADDITIONAL COST TO OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK, MATERIALS, AND EQUIPMENT UNTIL FINAL ACCEPTANCE BY OWNER. PROTECT ALL WORK AGAINST THEFT, INJURY OR DAMAGE AND CAREFULLY STORE MATERIAL AND EQUIPMENT RECEIVED ON SITE WHICH IS NOT IMMEDIATELY INSTALLED. CONTRACTOR SHALL CLOSE OPEN ENDS OF WORK WITH TEMPORARY COVERS OR PLUGS DURING CONSTRUCTION TO PREVENT ENTRY OF DUST, DIRT, AND OBSTRUCTING MATERIAL. CONTRACTOR SHALL PROTECT ALL EQUIPMENT AND MATERIALS FROM DAMAGE DUE TO WATER, SPRAY-ON FIREPROOFING, CONSTRUCTION DEBRIS, ETC. IN A MANNER ACCEPTABLE TO ENGINEER AND/OR OWNER.

S-BUILT" DRAWINGS - CONTRACTOR SHALL MAINTAIN CONSTRUCTION DRAWINGS TO NOTE, IN RED INK, CHANGES BETWEEN DRAWINGS AND ACTUAL CONSTRUCTION. AT END OF CONSTRUCTION, THESE DRAWING: SHALL BE STAMPED "AS-BUILT", SHALL HAVE CONTRACTOR'S NAME,

MAIN PROTECTIVE DEVICE SHALL BE EITHER A BOLTED PRESSURE SWITCH WITH CURRENT LIMITING CLASS L FUSES OR AN INSULATED CASE POWER CIRCUIT BREAKER. THE MAIN PROTECTIVE DEVICE SHALL INCLUDE INTEGRAL GROUND FAULT PROTECTION IN ACCORDANCE WITH NEC 230-95.

2. MANUAL MOTOR STARTERS WITH OVERLOAD FOR FRACTIONAL HORSEPOWER MOTORS. S SHALL BE SQUARE D OR EQUAL. THREE PHASE PROVIDED WITH OVERLOAD DEVICES IN EACH STARTERS SHALL BE USED FOR INTEGRAL FORMBINATION STARTERS, WHEN USED, SHALL SWITCHES.

G - SAFETY AND DISCONNECT SWITCHES:

1. HEAVY DUTY, LOAD AND MOTOR HP RATED
FOR INDOOR AND NEMA 3R FOR OUTDOO
OTHERWISE.

WITH TOGGLE HANDLE NEMA R USE UNLESS NOTED

SUBMIT WRITTEN RESPONSE TO ALL FIELD REPORTS INDICATING CORRECTIVE ACTIONS TAKEN AND DATE CORRECTIVE ACTION WAS TAKEN TO THE ARCHITECT/ENGINEER FOR REVIEW.

SUBMIT TWO (2) COPIES OF OWNER/TENANTS MAINTENANCE MANUALS. THE MANUALS SHALL INCLUDE RATINGS, CAPACITIES PARTS LISTS, WIRING DIAGRAMS, SERVICE/MAINTENANCE RECOMMENDATIONS, AND WARRANTIES.

B-CODES:

1. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE SECTIONS OF BASE BUILDING ELECTRICAL SPECIFICATIONS, OWNERS BUILDING STANDARDS, PROJECT MANUALS, AND IN STRICT ACCORDANCE WITH NATIONAL ELECTRIC CODE, AND MOST RECENTLY REVISED VERSIONS OF ALL APPLICABLE CITY, STATE, AND NATIONAL CODES AND STANDARDS AND/OR OTHER AUTHORITIES THAT MAY HAVE JURISDICTION PERTAINING TO WORK. MODIFICATIONS REQUIRED BY ABOVE SAID AUTHORITIES SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO OWNER. WHERE ALTERATIONS TO AND DEVIATIONS FROM CONTRACT DOCUMENTS ARE REQUIRED BY SAID AUTHORITY, REPORT REQUIREMENTS AND SECURE APPROVAL BEFORE STARTING WORK. IN CASES OF A DIFFERENCE BETWEEN MINIMUM REQUIREMENTS OF VARIOUS LAWS, CODES, AUTHORITIES, AND DOCUMENTS, WORK SHALL EXCEED LESSER REQUIREMENTS. WHILE MEETING GREATER OR MORE STRINGENT REQUIREMENTS. WHERE THE CONTRACT DOCUMENTS ARE IN EXCESS OF CODE REQUIREMENTS, THE CONTRACT DOCUMENTS SHALL GOVERN. IN THE EVENT OF A CONFLICT BETWEEN THE CONTRACT DOCUMENTS SHALL GOVERN. CONTRACTOR SHALL OBTAIN A COPY OF BASE BUILDING SPECIFICATIONS AND OWNERS BUILDING STANDARDS PRIOR TO STARTING WORK.

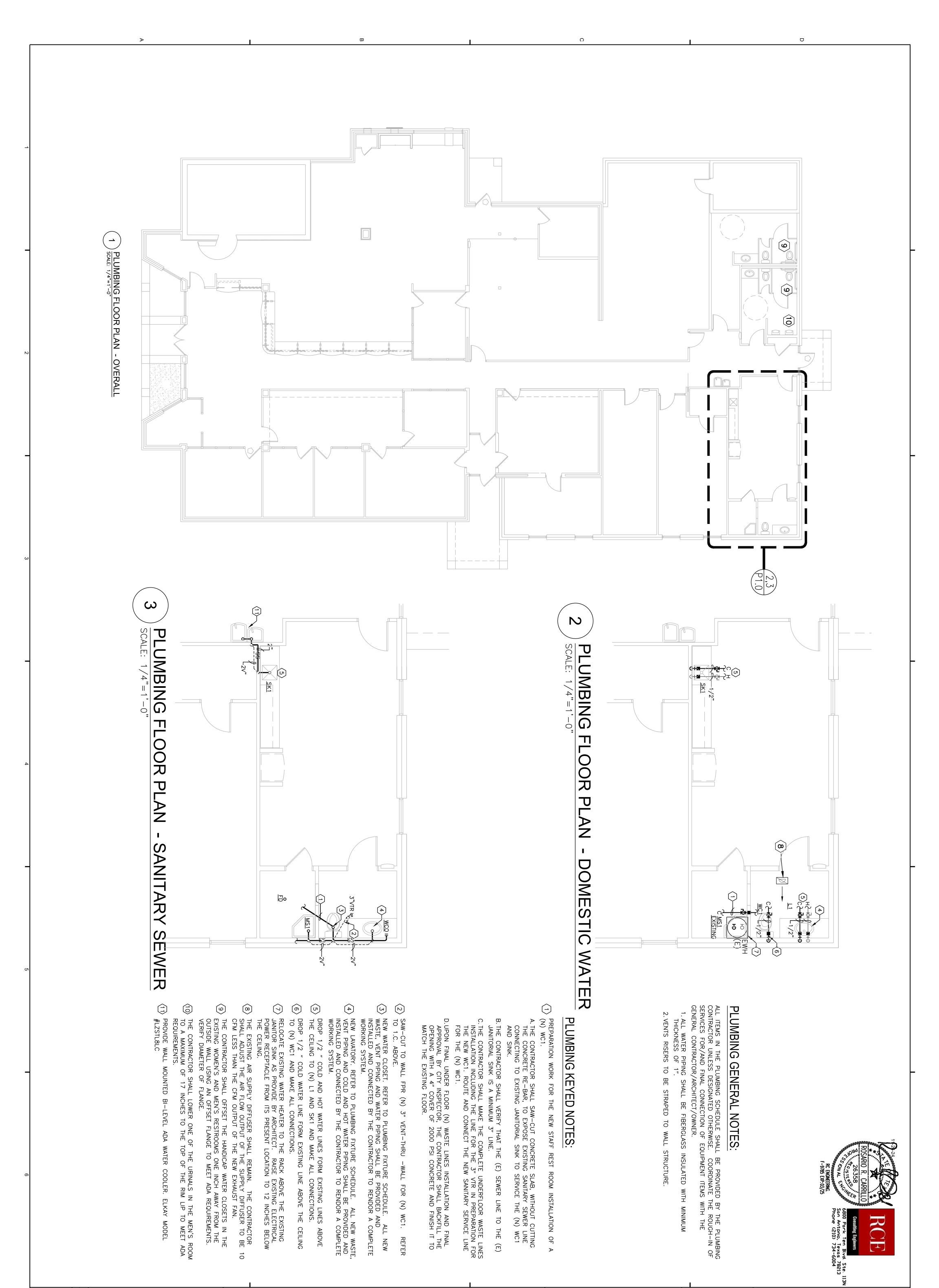
sync, pllc. lone star Architectural Design & Construction Services Boerne, Texas 78006

917 E. Blanco Road

johnnelson@lonestarsync.com

MARK

NEW MEDINA COUNTY



SHEET HISTORY

MARK DATE DESCRIPTION

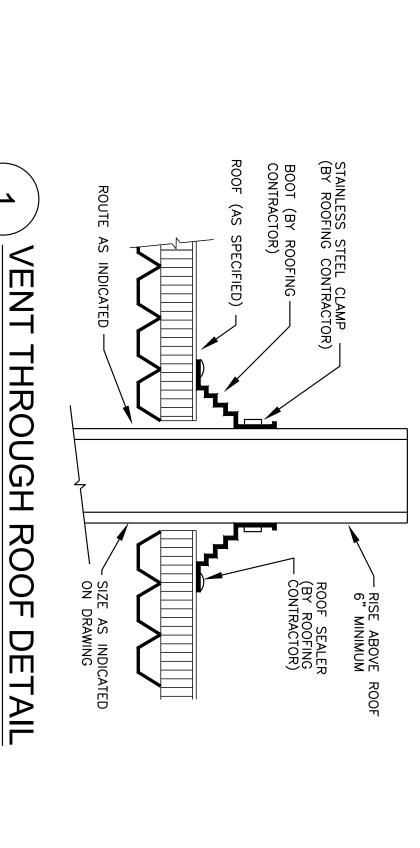
1 11/11/24 PRELIMINARY DESIGN
2 12/17/24 PERMIT SET

02/05/25 REVISED TAX OFFICE

NEW MEDINA COUNTY TAX OFFICES 1502 AVENUE M HONDO, TEXAS 78861

PLUMBINGSEWER & WATER





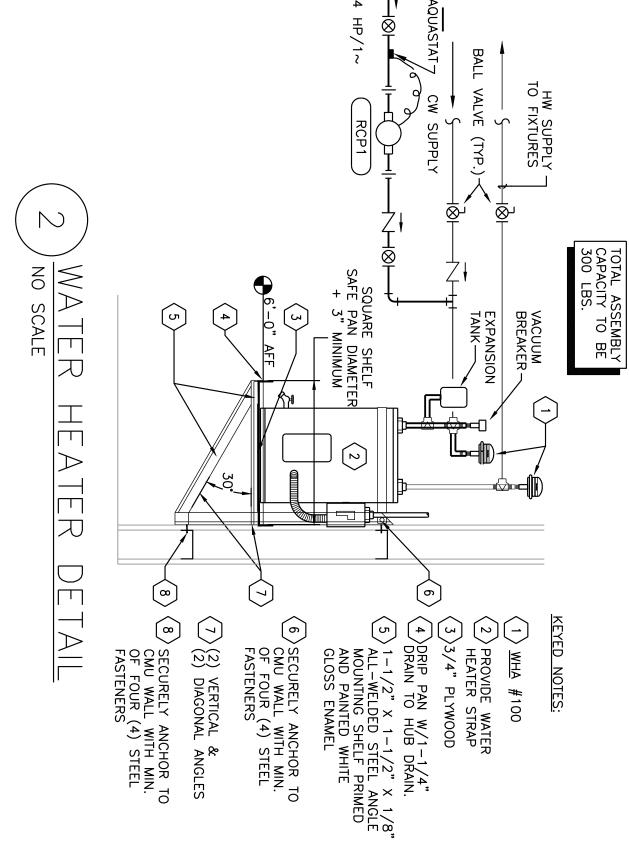
MISCELLANEOUS

PLUMBING

SCHEDULE

D

VENT THROUGH ROOF DETAIL SCALE: NONE



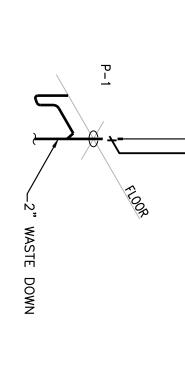
1 1/2" < 1 1/2" < 1/8"	4 DRIP PAN W/1-1/4" DRAIN TO HUB DRAIN.	(3)3/4" PLYWOOD	HEATER STRAP	DBOWNE WATER	1) WHA #100	KEYED NOTES:				
	—э о но	⊸o FD	-ø co			Ф —		- SS		
	HUB DRAIN	FLOOR DRAIN	CLEANOUT	HOT WATER SUPPLY PIPING	COLD WATER SUPPLY PIPING	BALL VALVE	VENT/REVENT PIPING	SANITARY SEWER/WASTE PIPING	PLUMBING LEO	
			$\langle 1 \rangle$	ॐ	J.		H.W.	C.W.	_EGEND	

 \circ

			DRAIN	FLOOR	— 6 FD
	PLUMBING KEYED NOTE	(1)	JT	CLEANOUT	 Ø co
	NEW PIPING CONNECTION	S	TER SUPPLY PIPING	HOT WATER	
	PIPE RISE	ļ	ATER SUPPLY PIPING	COLD WATER	
	PIPE DROP	<u>ე</u>	TVE	BALL VALVE	<u></u>
	HOT WATER	H.W.	VENT/REVENT PIPING	VENT/R	
	COLD WATER	C.W.	SANITARY SEWER/WASTE PIPING	SANITAF	——SS——
U)	AND ABBREVIATIONS	EGEND A	PLUMBING LE	PLU	
SK1					
	12"x12"x8" DEEP CAST IRON FLOOR SINK WITH A.R.E. INTERIOR, SEDIMENT BUCKET AND STAINLESS STEEL GRATE.	RON FLOOR SINK WITH	12"x12"x8" DEEP CAST IF STEEL GRATE.		FLOOR SINK 4"FS1
	LACQUERED CAST IRON FLOOR DRAIN WITH ANCHOR FLANGE, WEEPHOLES AND STANDARD HEAVY DUTY 6"POLISHED STAINLESS STEEL STRAINER.	LOOR DRAIN WITH ANCH LESS STEEL STRAINER.	LACQUERED CAST IRON FLOOR DUTY 6" POLISHED STAINLESS		FLOOR DRAIN 3"FD1
	DOMESTIC TEMPERED WATER RECIRCULATING PUMP SHALL BE 1/4 HP, 115V, 1 PH., 60 Hz.	WATER RECIRCULATING	THE DOMESTIC TEMPERED	PUMP	RECIRCULATING F HWRP1
_	COMPLETE WITH SECURING SCREW AND BRONZE	STEEL WALL ACCESS COVER COMPLETE PLUG.	ROUND STAINLESS STEEL RAISED HEX HEAD PLUG.	OUT	INTERIOR CLEANOUT FINISHED WALL WCO
WC1) 3" DEEP SEAL P-TRAP. PROVIDE DRAIN BODY INDICATED. INSTALL RIM OF HUB $1/2$ " MIN., 1"	$3"\ \mbox{HUB}$ Drain with $3"\ \mbox{X}$ $2"\ \mbox{REDUCER}$ and $3"\ \mbox{DEEP}$ Tapped trap primer connection where indicated. Aff.	PVC 3" HUB DRAIN WITH 3" X 2" REDUCER AND 3" DEEP WITH TAPPED TRAP PRIMER CONNECTION WHERE INDICATED. MAX. AFF.		3" HUB DRAIN 3"HD
	JME: 8 GAL., MAX. TEMP: 240°F, MAX. PRESS: CONNECTION.	APPROVED, TANK VOLL VCE: 2.7 GAL., 1/2" (BUTYL BLADDER, A.S.M.E. APPROVED, TANK VOLUME: 8 GAL., 125 PSI., TANK ACCEPTANCE: 2.7 GAL., 1/2" CONNECTION.	^	EXPANSION TANK XT1
	ALL STAINLESS STEEL HOUSING AND BELLOWS PRECHARGED WITH AIR. INSTALL IN ACCORDANCE WITH PFE STANDARD WH201. UNIT SHALL BEAR PDI RATINGS OF: 'A' (W-5), 'B' (W-10), 'C' (W-20), 'D' (W-50).	USING AND BELLOWS P	ALL STAINLESS STEEL HO WITH PFE STANDARD WH2 (W-20), 'D' (W-50).	HAMMER ARRESTOR	WATER HAMMER WHA
	THERMOSTATIC TEMPERING VALVE FOR EXPOSED PIPING. ADJUSTABLE TEMPERATURE SECTION WITH LOCKDOWN, COLD TO HOT. TEMPERATURE RANGE FROM 85'- 135'. ROUGH BRONZE CONSTRUCTION AND FINISH. 1/2" IPS CHECKSTOPS. INSTALL IN ACCESSIBLE LOCATION. PLUMBING CONTRACTOR IS TO VERIFY WATER TEMPERATURE ON JOB TO INSURE 110' AT THE FAUCET.	; VALVE FOR EXPOSED T. TEMPERATURE RANGE HECKSTOPS. INSTALL IN JRE ON JOB TO INSURE	THERMOSTATIC TEMPERING VALVE FOR EXPOSED PIPING. AD LOCKDOWN, COLD TO HOT. TEMPERATURE RANGE FROM 85' AND FINISH. 1/2" IPS CHECKSTOPS. INSTALL IN ACCESSIBLY VERIFY WATER TEMPERATURE ON JOB TO INSURE 110° AT	ALVE ND WASH MS.	THERMOSTATIC VALVE USE AT ALL HAND WASH SINKS, RESTROOMS. MV1

-1-1/2" VENT UP -1/2" COLD WATER

COLD WATER



PLUMBING RISER DIAGRAM SCALE: NONE

PLUMBING RISER DIAGRAM

SCALE: NONE

WASTE DOWN

				S
בכד דטדאו טבוויכ	LAVATORY	WTR CLOSET	FIXTURE DESIG.	SANITARY DRAINAGE LOAD
חבווייכ	1	1	FIXTURE COUNT	DRAI
	1	4	DFU PER FIXTURE	NAGE
л	1	4	SUB-TL BLDG FIXT'S	LOAD — DF
				$\overline{}$

TOTAL WASTE LOAD APPROX: 5 DFUS ALLOWED DFUs: 4" DRAIN PIPE AT 1/4" PER FOOT PER IPC 2021

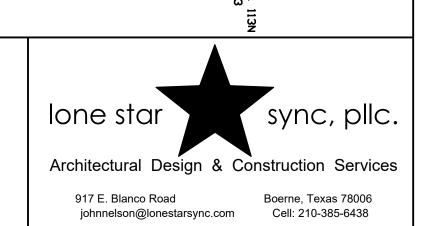
		RX. 17 GPM	14 WSFUs = APPRX, 17 GPM
⁻Us	PROX: 9 WSF	MAND LOAD AF	TOTAL WATER DEMAND LOAD APPROX: 9 WSFUS PROJECTED DIVERSITY @ 80% = 11.2 WSFUS
9			TOTAL WSFU'S
4	2	1	LAVATORY
5	5	1	WTR CLOSET
SUB-TL BLDG FIXT'S	WSFU PER FIXTURE	FIXTURE COUNT	FIXTURE DESIG.
U - WSFC	WLOA	DOMESTIC CW LOAD	DOMES

DRAW		SI	HEET HISTORY				
DRAWN BY: MAC	MARK DATE DESCRIPTION						
	1	11/11/24	PRELIMINARY DESIGN				
	2	12/17/24	PERMIT SET				

NEW MEDINA COUNTY TAX OFFICES

1502 AVENUE M

PLUMBING



" MOUNT, 4" CENTERS, MOUNT SINK AT 34" FLOOR-TO-R "L NO. LF1170 THERMOSTATIC MIXING VALVE BELOW SINK. -6080-G WITH GRID STRAINER DRAIN ASSEMBLY, PROVIDE ACTION BOWL,

COUNTER TOP SINK DAYTON MODEL NO. D11719

P-22 ML ST(CO

LAVATORY,
"HANDICAPPED HEIGHT"
AMERICAN STANDARD
AQUALYN #0476.028

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UMBING

FIXTURE

SCHEDULE

<u>GENERAI</u>

1. ALL WA 2. ALL SE NIBCO 3. VENT R OF THIS SCHEDULE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR UNLESS DESIGNATED. COORDINATE THE ROUGH—IN OF SERVICES FOR/AND FINAL CONNECTION OF EQUIPMENT ITEMS GENERAL CONTRACTOR/ARCHITECT/OWNER.

PIPING **SPECIFICATION**

1. WASTE AND VENT PIPING PIPE ASTM D 1785/D 266: 3311/D 2665 DRAINAGE P. FURNISHED BY THE SAME I 2. WASTE ANI
PIPE: ASTM A
ASTM A 888
NEOPRENE GA
SHIELD ASSEN
CLAMP ASSEN
ADMINISTRATIV

VENTS AND SANITARY SEWER, AND GREASE WASTE LINE TO BE SCH. PVC WITH SOLVENT WELD DRAINAGE PATTERN FITTINGS.

WATER PIPE TO BE TYPE L COPPER WITH WROT COPPER FITTINGS USING 95/5 SOLDER CONTAINING NO LEAD. (PEX — APPROVED EQUAL)

ALL PLUMBING TO COMPLY WITH WITH ALL LOCAL CODES GOVERNING JURISDICTION REQUIREMENTS.

AND

PIPE

MATERIAL

LST

UNDER FLOOR WATER WILL BE TYPE L COPPER WITH NO JOINTS UNDER SLAB IN SLEEVE. (PEX — APPROVED EQUAL)

ALL HOT WATER AND COLD WATER SUBJECT INSULATED.

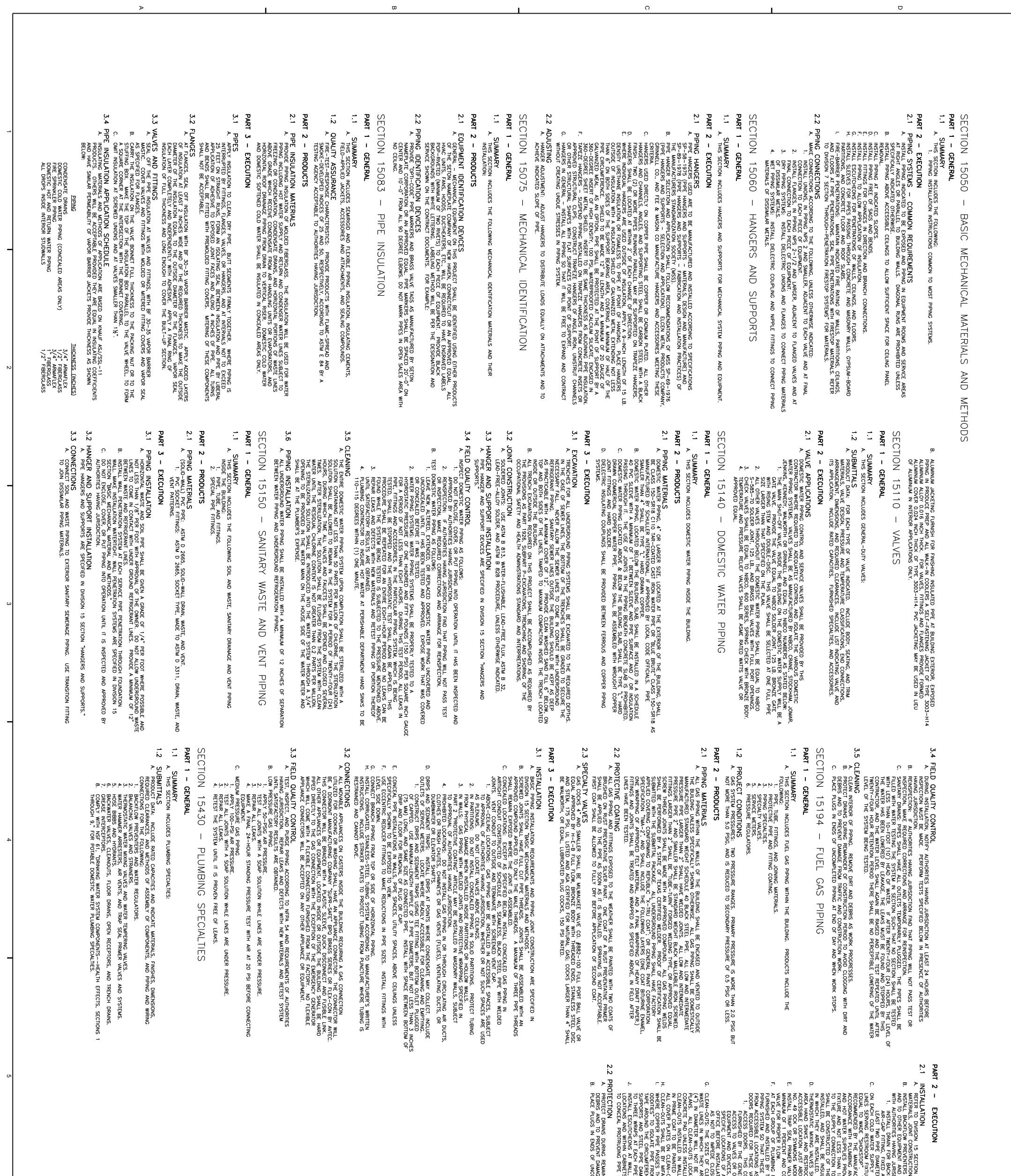
TO FREEZE WILL

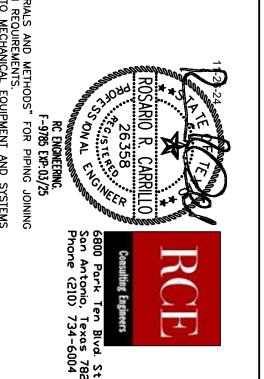
GAS PIPE TO BE SCH. 40 BLACK IRON PIPE WITH SCREWED MALLEABLE IRON FITTINGS.

6. DOMESTIC TUBING: ASTN CAST BRONZE ASTM B 32.

SCHEDULES

HONDO, TEXAS 78861





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П	HECKED	DRAWN		SH	HEET HISTORY
U	ω	вү:І	MARK	DATE	DESCRIPTION
S	<u>·</u>	MAC 3Y: RRC	1	11/11/24	PRELIMINARY DESIGN
	ဂို		2	12/17/24	PERMIT SET
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NEW MEDINA COUNTY TAX OFFICES

PLUMBING SPECIFICATIONS

